

CITY OF GLENDORA

Objective Design Standards User's Guide

Version Updated 3/3/2026



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Executive Summary

Introduction

Glendora's Objective Design Standards (ODS) are a set of clear, measurable, "yes/no" design rules—adopted as part of the City's development regulations—that define baseline expectations for building and site design so projects can be reviewed consistently without relying on subjective judgment. What makes Glendora's approach especially distinctive is that the City applied these objective standards comprehensively to all development types (single-family, multifamily, mixed-use, commercial, and industrial), not just the State-required residential and mixed use projects. In effect, the ODS function as a citywide design framework that spells out specific requirements for things like building massing and articulation, façade and roof treatments, materials, site layout, and transitions to adjacent neighborhoods—improving predictability for applicants, clarity for the public, and consistency and defensibility in project approvals.

ODS also directly support implementation of State housing laws—particularly SB 35 and SB 330—which require jurisdictions to process certain multifamily and mixed-use residential projects ministerially ("over the counter"), guided by objective standards rather than discretionary design guidelines. These laws limit a city's ability to deny qualifying projects based on subjective design judgments, so having a well-structured ODS framework is both a compliance tool and a quality tool: it protects the City's ability to enforce legitimate, up-front design expectations while reducing uncertainty, delays, and inconsistency in entitlement decisions.

Anchored in Glendora's broader policy direction, ODS reinforce Strategic Plan priorities by modernizing the City's regulatory system in a way that emphasizes high-quality community character, excellent customer service, and transparent, consistent decision-making. They also advance the Economic Development Action Plan by creating a clearer, more predictable development environment that reduces friction for reinvestment, supports well-designed commercial and industrial projects, and helps attract and retain businesses by making expectations understandable early in the process. To help applicants implement the standards, the City also produced a User's Guide—not a substitute for the Development Code or ODS, but a practical companion that illustrates how the standards may apply to common Glendora building typologies; it is intentionally not exhaustive and does not preclude other building types not shown.

Community Engagement

Survey

The City of Glendora launched an online and in-person survey on April 20, 2024 at the Glendora Earth Day event to solicit input on preferred architectural styles for future multi-family and commercial developments as well as preferred open space amenities for future multi-family developments. The survey closed on October 2nd, 2024 and collected 550 responses.

The results of the survey indicated that Craftsman, Farmhouse, and Spanish Revival were considered the most appropriate architectural styles for residential development in Glendora. Craftsman and Spanish Revival were also considered appropriate for commercial development in Glendora, with the Main Street architectural style being considered the most appropriate style for commercial development.

Of the most preferred open space amenities, additional green space/parks was by the far the most popular answer, with approximately twice as many responses as the second most popular choice. Of the other amenities listed, children's play areas, trails, and swimming pools were ranked second, third, and fourth respectively. Each garnered a similar number of responses.

Open House

The first community Open House for the Glendora Objective Design Standards project was held in-person at the Glendora Bidwell Forum on October 1, 2024. The purpose of the Open House was to inform the community on the project and invite attendees to participate in the online survey. The event was attended by 33 community members, 4 City Council members, and as well as City staff and project consultants. The Open House featured an informational station describing the project and the timeline, sample User's Guide station, and a children's activity station.

Developer Roundtable

The City of Glendora held a virtual developer roundtable on July 22, 2025. A total of 14 professionals, including developers, architects, planners, and real estate analysts. An overview of the ODS was provided, and comments regarding driveway material, housing typologies, and a potential checklist were discussed.

Planning Commission and City Council

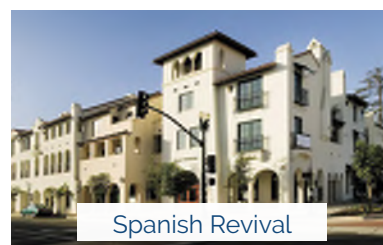
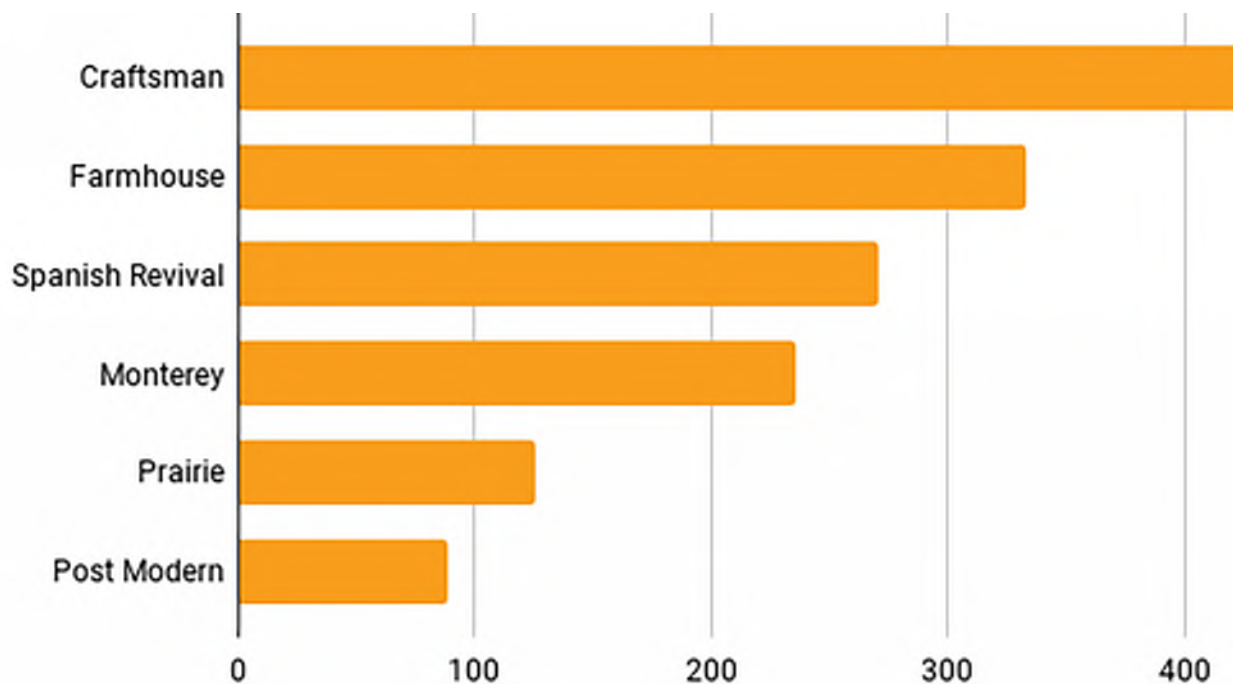
The Planning Commission recommended approval of the ODS on October 1, 2025, and the Glendora City Council Adopted the ODS on second reading during the November 12, 2025 meeting (Ordinance # 2095).



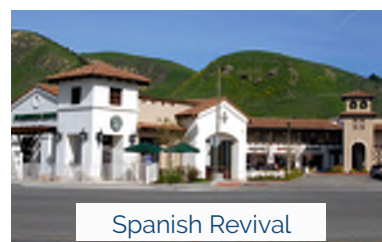
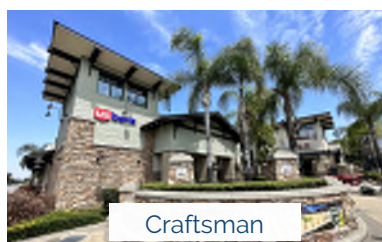
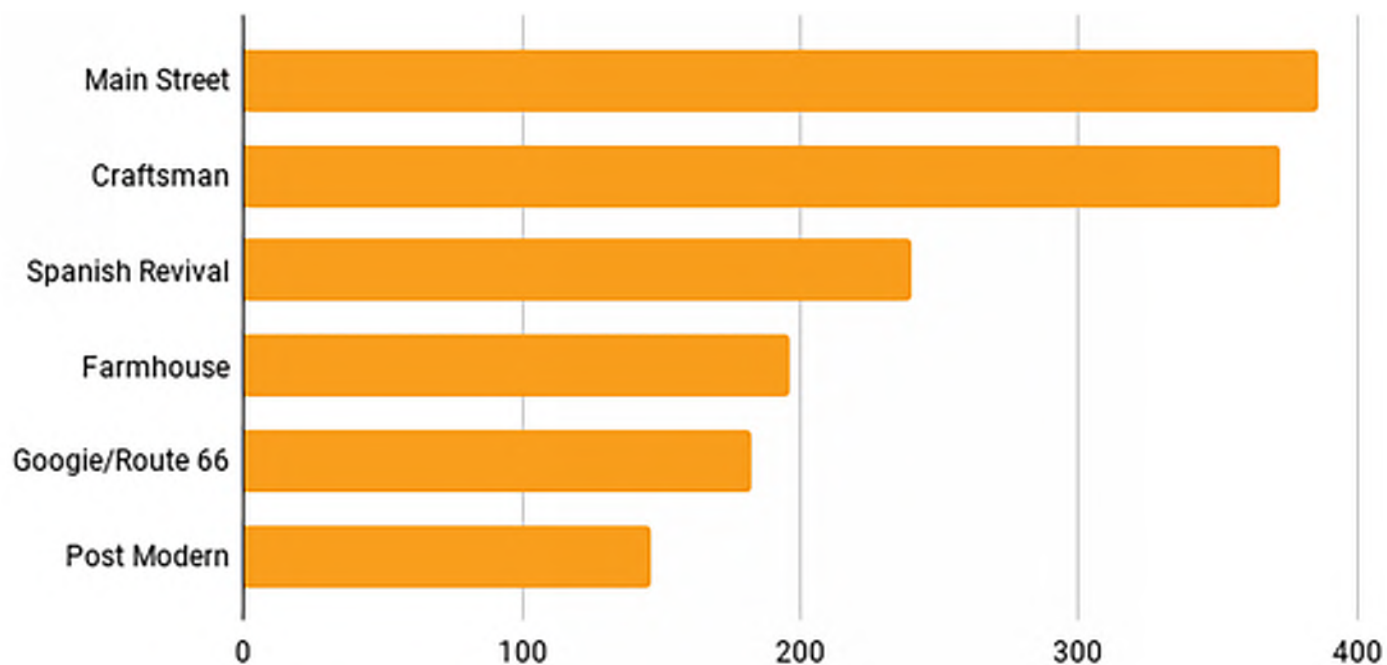
Survey Summary

Below is a summary and key takeaways from the community engagement efforts.

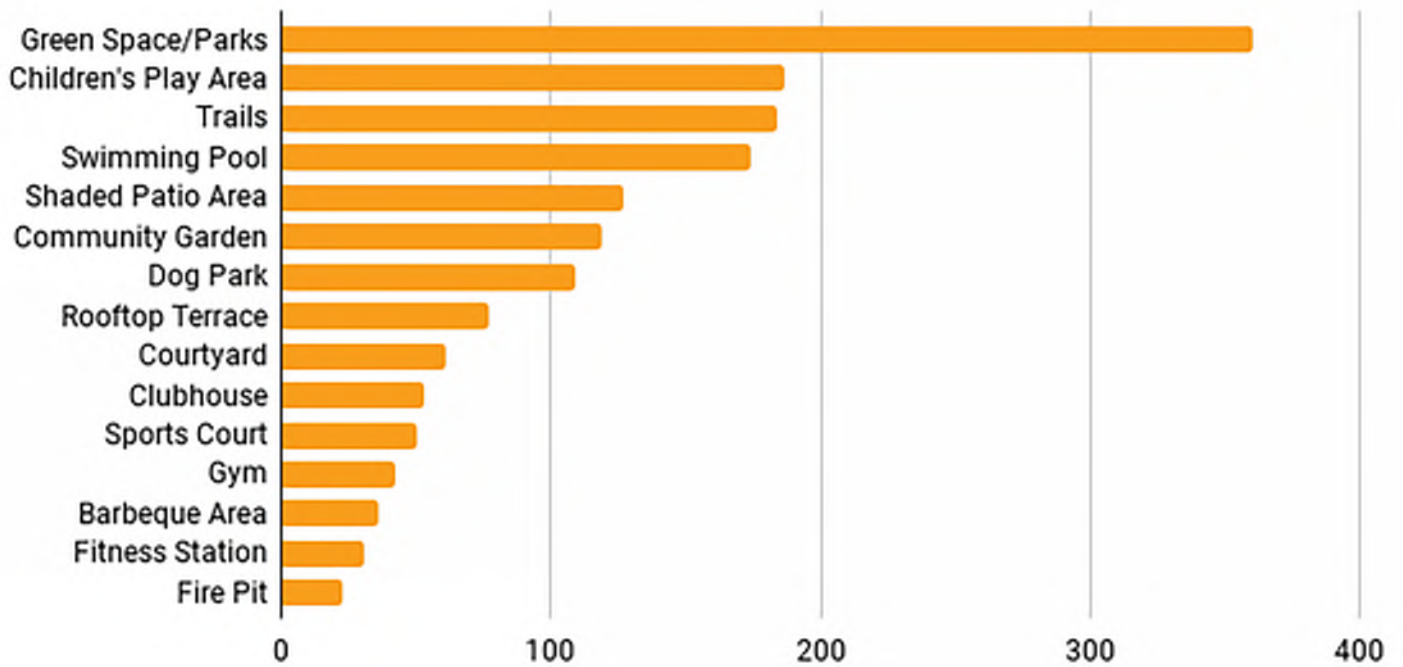
Select the top 3 architectural styles you think are most appropriate for multi-family in Glendora.



Select the top 3 architectural styles you think are most appropriate for commercial in Glendora.



Choose your top 3 preferred open space amenities for multi-family housing.

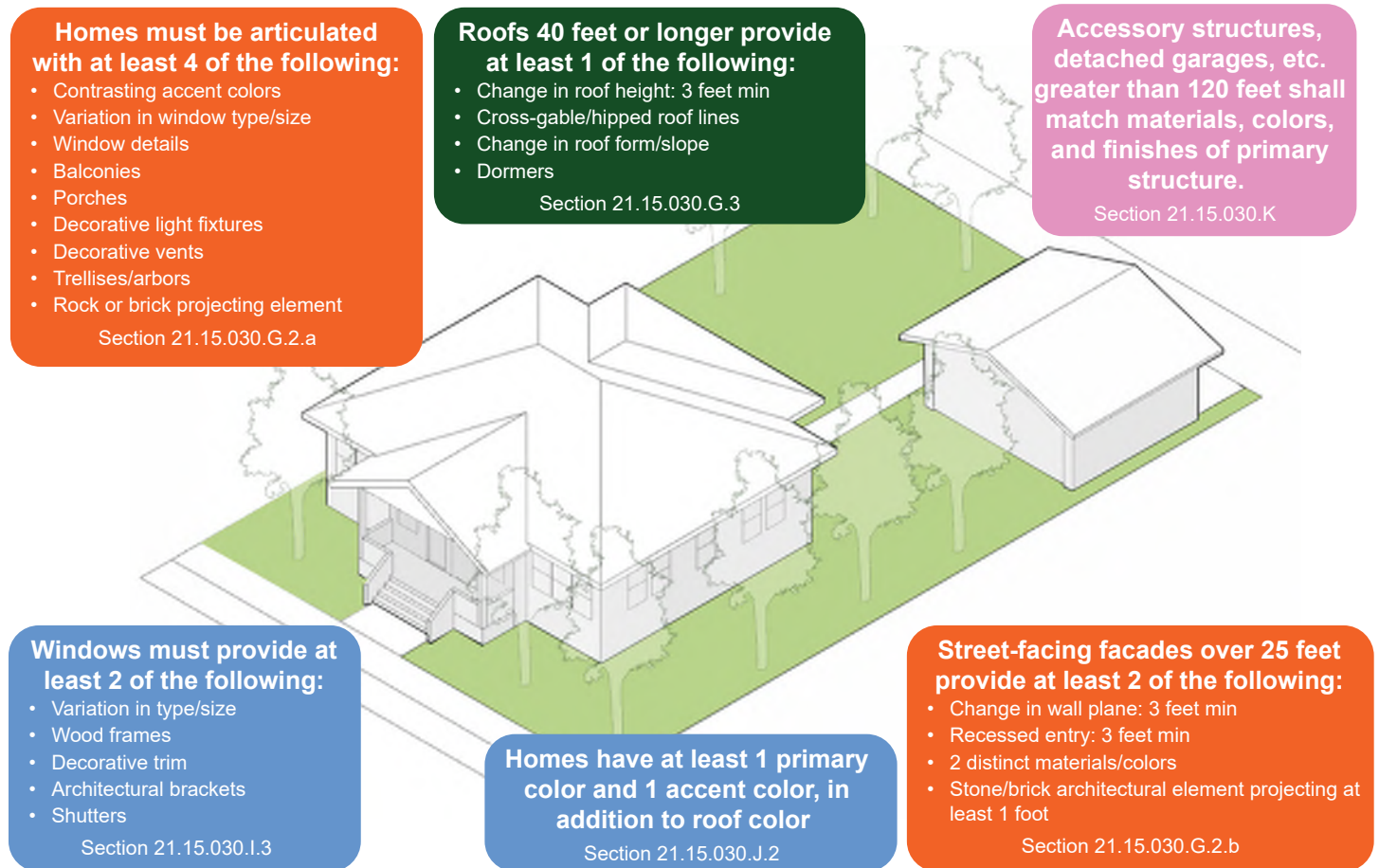




SINGLE-FAMILY

Single-Family With Alley

Single-family homes with alley access range from 10-15 dwellings per acre, on lot sizes that range from 3,000 to 7,500 SF. They are typically one to two stories in height. These units are rear loaded from an alley, which offers the opportunity to create street frontages that do not have frequent curb cuts, provide more on-street parking for visitors, and encourage “eyes on the street”.



E. Ada Avenue - Glendora



Ladera Ranch, CA

Single-Family Without Alley With Detached Garage

Single-family homes without alley access but with detached garages range from 10-15 dwellings per acre, on lot sizes that range from 3,000 to 7,500 SF. They are typically one to two stories in height. These units are front loaded from the street by a driveway that extends to a garage which is typically located at the back of the lot.

Homes must be articulated with at least 4 of the following:

- Contrasting accent colors
- Variation in window type/size
- Window details
- Balconies
- Porches
- Decorative light fixtures
- Decorative vents
- Trellises/arbors
- Rock or brick projecting element

Section 21.15.030.G.2.a

Windows must conform to the following:

- Windows offset at least 1 foot from other windows of other buildings within 20 feet.
- Recess, 3 inches min. OR
- Trim/sill at least 1 inch deep and 4 inches wide.

Section 21.15.030.I.1 & 2

Accessory structures, detached garages, etc. greater than 120 feet shall match materials, colors, and finishes of primary structure.

Section 21.15.030.K

The same materials and finishes applied on all building sides

Section 21.15.030.J.3

Walkways

- Walkways connecting house to sidewalks and vehicular parking
- Must be made of concrete, brick, or pavers.

Section 21.15.030.E.1

Driveways

- Must be made of concrete, brick, or pavers, and lead to an approved parking space.
- Additional space is prohibited for RV parking.

Section 21.15.030.D.1

Garages are recessed or projected by at least 2 feet from facade and feature:

- Windows in garage doors
- Decorative garage door

Section 21.15.030.G.1



Pittsburg, CA



Myrtle Avenue - Glendora

Single-Family Without Alley With Attached Garage

Single-family homes without alleys with attached garages range from 10–15 dwellings per acre, on lot sizes that range from 3,000 to 7,500 SF. They are typically one to two stories in height. These units are front loaded from the street with a driveway that extends to a garage that is attached to the main residence. As a result, the garage door is often a significant presence on the street facade.

Primary entry provides at least 2 of the following:

- Facade projection/recess: 3 feet min
- Projection above entrance: 2 feet min
- Windows in door
- Transom window above door
- Porches or stoops
- Contrasting color.

Section 21.15.030.H.1

Homes have at least 1 primary color and 1 accent color, in addition to roof color

Section 21.15.030.J.2

Windows must conform to the following:

- Windows offset at least 1 foot from other windows of other buildings within 20 feet.
- Recess, 3 inches min. OR
- Trim/sill at least 1 inch deep and 4 inches wide.

Section 21.15.030.I.1 & 2

The same materials and finishes applied on all building sides

Section 21.15.030.J.3

Walkways

- Walkways connecting house to sidewalks and vehicular parking
- Must be made of concrete, brick, or pavers.

Section 21.15.030.E.1

Homes must be articulated with at least 4 of the following:

- Contrasting accent colors
- Variation in window type/size
- Window details
- Balconies
- Porches
- Decorative light fixtures
- Decorative vents
- Trellises/arbors
- Rock or brick projecting element

Section 21.15.030.G.2.a

Driveways

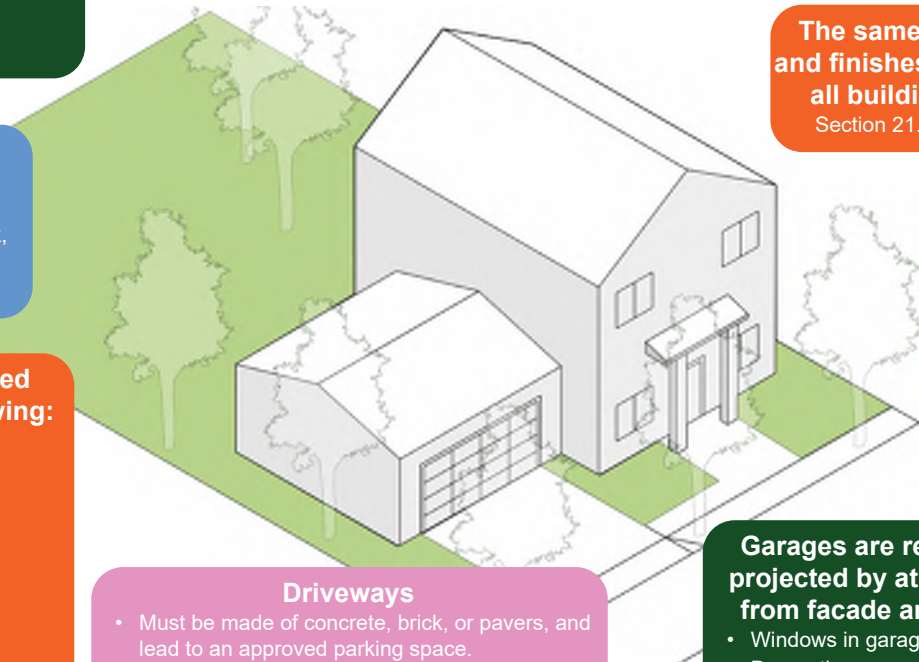
- Must be made of concrete, brick, or pavers, and lead to an approved parking space.
- Additional space is prohibited for RV parking.

Section 21.15.030.D.1

Garages are recessed or projected by at least 2 feet from facade and feature:

- Windows in garage doors
- Decorative garage door

Section 21.15.030.G.1



Mission Viejo, CA



Irvine, CA



ACCESSORY UNIT

Accessory Unit Attached

An attached accessory unit is an addition to the existing primary dwelling unit, generally added to the side or back of the house. They are connected to the primary dwelling using at least one connecting wall.

Primary entry provides at least 1 of the following:

- Facade projection/recess: 3 feet min
- Projection above entrance: 2 feet min
- Windows in door
- Transom window above door
- Porches or stoops
- Material and/or color variation

Section 21.15.040.G.2

Attached Units shall match the architectural design of the primary dwelling. Section 21.15.040.F.1.a

Separate entrance is provided

Section 21.15.040.B.1

Walkways connect ADUs to public sidewalk

Section 21.15.040.D.1

Exterior stairways to second-floor ADUs must be located at the side or rear of the primary dwelling unit.

Section 21.15.040.G.3

Windows must conform to the following:

- Windows offset at least 1 foot from other windows of other buildings within 20 feet.
- Recess, 3 inches min. OR
- Trim/sill at least 1 inch deep and 4 inches wide.

Section 21.15.040.G.4



Accessory Unit Detached - Guesthouse

Guesthouses, or detached accessory dwelling units, are stand-alone units separate from the main house and are usually situated in the backyard, with direct access to the street or alley.

Windows must conform to the following:

- Windows offset at least 1 foot from other windows of other buildings within 20 feet.
- Recess, 3 inches min. OR
- Trim/sill at least 1 inch deep and 4 inches wide.

Section 21.15.040.G.4

Walkways connect ADUs to public sidewalk

Section 21.15.040.D.1

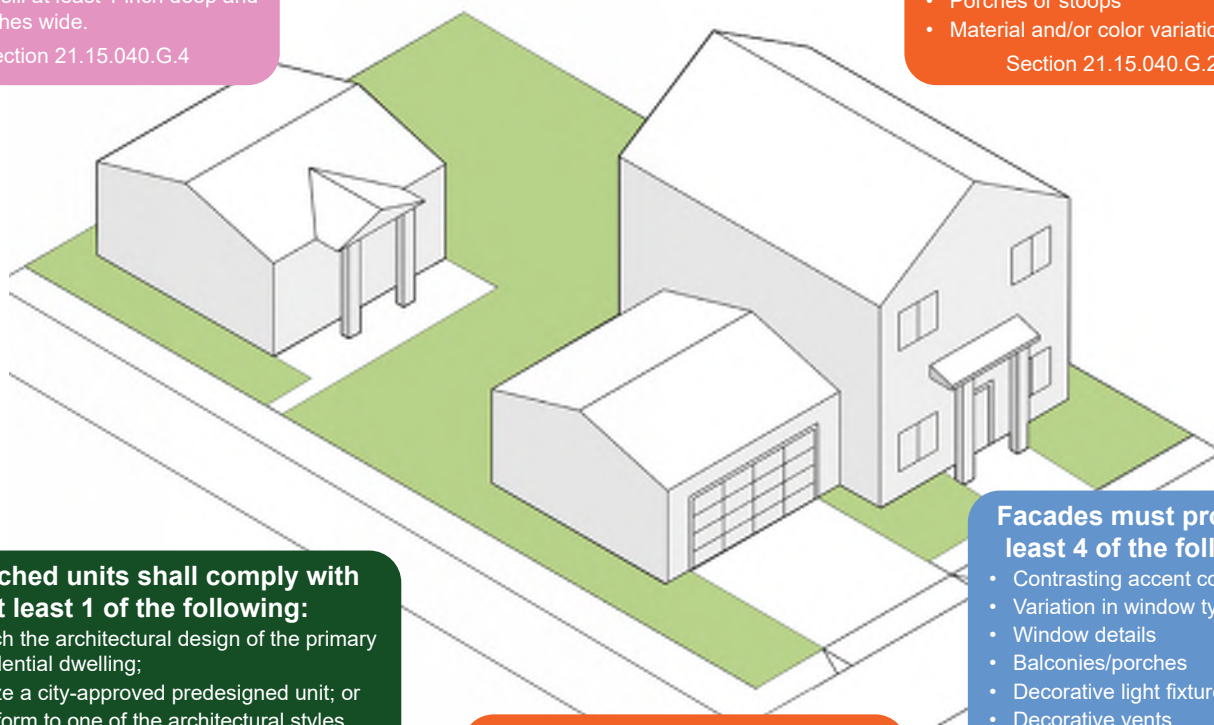
ADUs have at least 1 primary color and 1 accent color, in addition to roof color

Section 21.15.040.G.6

Primary entry provides at least 1 of the following:

- Facade projection/recess: 3 feet min
- Projection above entrance: 2 feet min
- Windows in door
- Transom window above door
- Porches or stoops
- Material and/or color variation

Section 21.15.040.G.2



Detached units shall comply with at least 1 of the following:

- Match the architectural design of the primary residential dwelling;
- Utilize a city-approved predesigned unit; or
- Conform to one of the architectural styles defined in Section 21.15.090

Section 21.15.040.F.1.b

Materials must be durable.

Section 21.15.040.G.5

Facades must provide at least 4 of the following:

- Contrasting accent colors
- Variation in window type/size
- Window details
- Balconies/porches
- Decorative light fixtures
- Decorative vents
- Trellises/arbors

Section 21.15.040.G.1



Accessory Unit Garage Addition

This is an accessory unit addition to a detached garage with access off of the street or an alley. In contrast to accessory units built over the garage, this accessory unit is a single-story structure.

Windows must conform to the following:

- Windows offset at least 1 foot from other windows of other buildings within 20 feet.
- Recess, 3 inches min. OR
- Trim/sill at least 1 inch deep and 4 inches wide.

Section 21.15.040.G.4

Walkways connect ADUs to public sidewalk

Section 21.15.040.D.1

Primary entry provides at least 1 of the following:

- Facade projection/recess: 3 feet min
- Projection above entrance: 2 feet min
- Windows in door
- Transom window above door
- Porches or stoops
- Material and/or color variation

Section 21.15.040.G.2

Detached units shall comply with at least 1 of the following:

- Match the architectural design of the primary residential dwelling;
- Utilize a city-approved predesigned unit; or
- Conform to one of the architectural styles defined in Section 21.15.090

Section 21.15.040.F.1.b

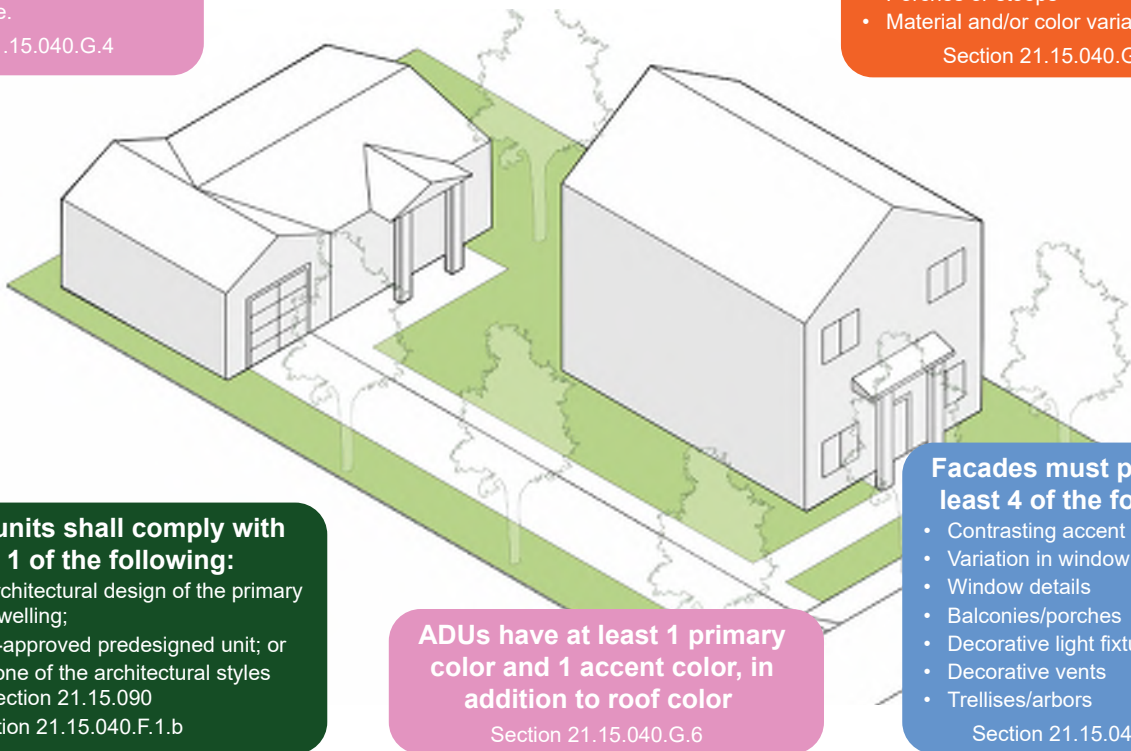
ADUs have at least 1 primary color and 1 accent color, in addition to roof color

Section 21.15.040.G.6

Facades must provide at least 4 of the following:

- Contrasting accent colors
- Variation in window type/size
- Window details
- Balconies/porches
- Decorative light fixtures
- Decorative vents
- Trellises/arbors

Section 21.15.040.G.1





**MULTIPLE-FAMILY
UNDER 10 UNITS**

Bungalow Court

Bungalow courts typically consist of 4 to 8 attached or detached residential dwelling units arranged on two or three sides of a yard or garden. These types do not exceed more than 10 dwelling units per courtyard.

Buildings 2 stories or more feature at least 2 of the following:

- Change in material/texture/color
- Door/window variation
- Projections or recesses

Section 21.15.050.G.3

Accessory structures, detached garages, etc. greater than 120 feet shall match materials, colors, and finishes of primary structure.

Section 21.15.050.H

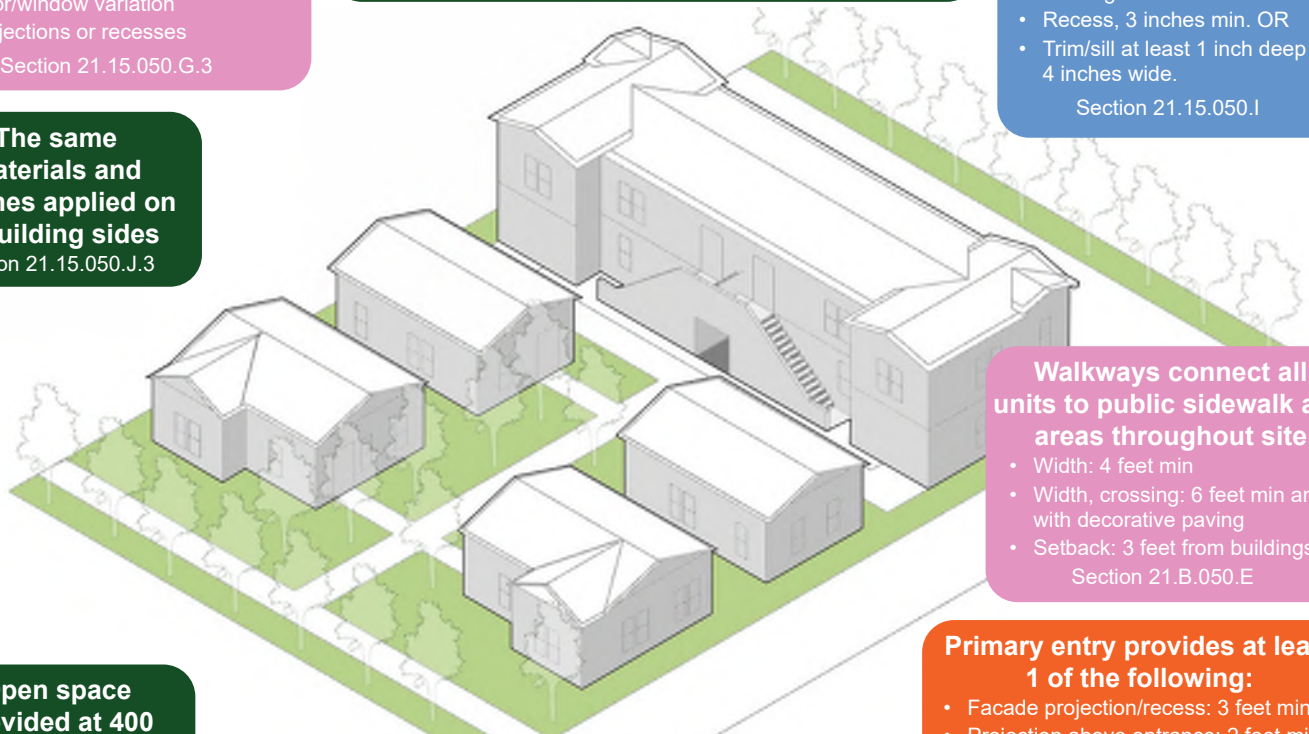
Windows must conform to the following:

- Windows offset at least 1 foot from other windows of other buildings within 20 feet.
- Recess, 3 inches min. OR
- Trim/sill at least 1 inch deep and 4 inches wide.

Section 21.15.050.I

The same materials and finishes applied on all building sides

Section 21.15.050.J.3



Walkways connect all units to public sidewalk and areas throughout site

- Width: 4 feet min
- Width, crossing: 6 feet min and with decorative paving
- Setback: 3 feet from buildings

Section 21.B.050.E

Open space provided at 400 square feet per unit, may be common, private, or both

Section 21.B.050.F

Driveways

- Must be made of asphalt, concrete, brick, or pavers, and lead to an approved parking space.

Section 21.15.050.D.1

Primary entry provides at least 1 of the following:

- Facade projection/recess: 3 feet min
- Projection above entrance: 2 feet min
- Windows in door
- Transom window above door
- Porches or stoops

Section 21.15.050.H



155 N. Wabash Avenue - Glendora



229 N. Minnesota Avenue - Glendora

Rowhouse

Rowhouses are multifamily residential developments where one or two walls are shared between the two houses. They are connected in a row, with each house having its separate entrance. They are typically 2 to 3 stories high and 12-18 dwelling units per acre. They may have a front and a backyard with tuck-under or garage parking. As a result, the majority of the ground floor is usually occupied by a private garage. Small site townhouse developments are on sites that are typically no larger than one acre in size. These types are typically located in infill lots with one access point off of a single street via an alley, common court, or auto court.

Structures within 20 feet of adjacent residences employ clerestory windows, glass block, opaque glass, or landscaping

Section 21.15.050.C.3

Auto Courts

- Length: 150 feet max
- Pedestrian entry not permitted on court
- No through street access

Section 21.B.050.D.3

Homes have at least 1 primary color and 1 accent color, in addition to roof color

Section 21.15.050.J.2

Roofs 30 feet or longer provide at least 1 of the following:

- Change in roof height: 3 feet min
- Cross-gable/hipped roof lines
- Change in roof form/slope
- Use of dormers, cross gabled, and hipped roof lines.

Section 21.15.030.G.4

Primary ground-floor or individual unit entries shall face the primary street, courtyard, walkway, or private drive.

Section 21.15.050.C.1

Walls longer than 30 feet incorporate at least 1 of the following per 30 feet:

- Windows
- Overhangs
- Cornices
- Canopies
- Columns
- Trellises
- Projections or recesses

Section 21.15.050.G.2

Alley-Facing Garages

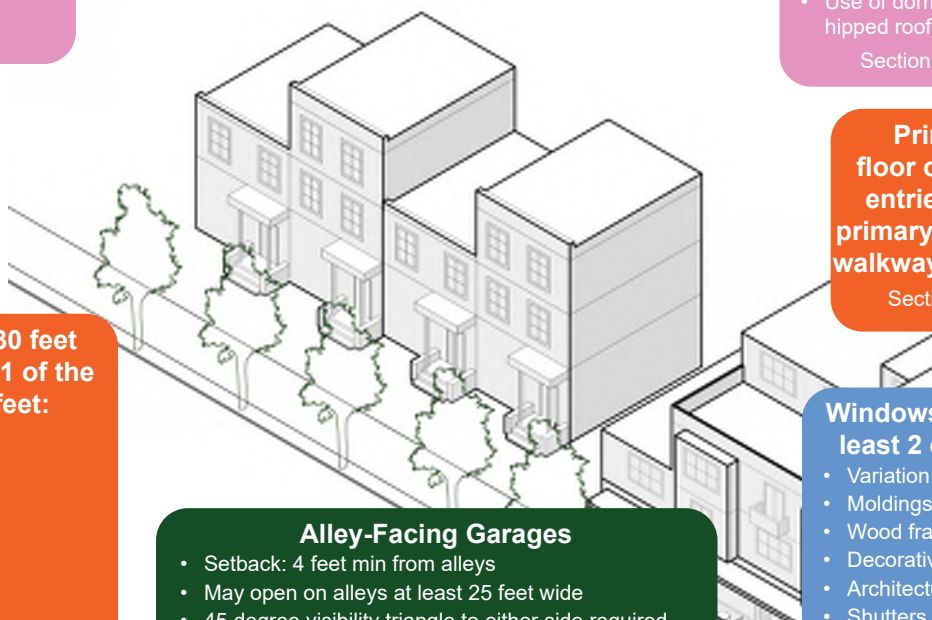
- Setback: 4 feet min from alleys
- May open on alleys at least 25 feet wide
- 45 degree visibility triangle to either side required.

Section 21.B.050.D.2

Windows must provide at least 2 of the following:

- Variation in type/size
- Moldings
- Wood frames
- Decorative trim
- Architectural brackets
- Shutters

Section 21.15.050.I.4



Anaheim, CA



Milpitas, CA

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**MIXED USE/
MULTIPLE-FAMILY
OVER 11 UNITS**

Courtyard/Garden Apartment

Courtyard/Garden Apartments consist of up to 16 attached and/or stacked units, accessed from a shared courtyard. The shared court could be common open space (known as garden-court) or shared driveway (known as motor-court). They are typically 2 to 4 stories high and 19 to 25 units per acre. Parking may be accommodated with surface lots, tuck under garages, or a combination of both. This type is typically integrated as a small proportion of lower-intensity neighborhoods or, more consistently, into moderate-intensity neighborhoods. This typology could include mix of uses, such as residential, office, commercial, etc.

Projects greater than 1 acre and with more than 1 structure provide at least 2 color schemes.

Section 21.15.060.K.3

Walkways connect all units to public sidewalk and areas throughout site

- Width: 4 feet min
- Width, crossing: 6 feet min and with decorative paving
- Setback: 3 feet from buildings

Section 21.15.060.E

Auto Courts

- Length: 150 feet max
- Pedestrian entry not permitted on court
- No through street access

Section 21.15.060.E.3

Windows feature at least 2 of the following:

- Variation in type/size
- Moldings
- Wood frames
- Decorative trim
- Architectural brackets
- Shutters

Section 21.15.060.I.1



Common Open Space

- Area: 225 sq feet min.
- Dimension: 15 feet min.

Section 21.15.060.F.1

Open space provided at 400 square feet per unit, may be common, private, or both

Section 21.B.060.F

Walkways connect all units to public sidewalk and areas throughout site

- Width: 4 feet min
- Width, crossing: 4 feet min and with decorative paving
- Setback: 3 feet from buildings

Section 21.B.060.E



Artesia Square, Pasadena



152 N. Vista Bonita Avenue

Townhome (Large Site)

Townhomes provide ground-level rear-access garages tucked into the building footprint. This design allows for a dense urban fabric consistent with the urban patterns and textures of many historic neighborhoods, while providing the vehicle parking necessary for a modern home. They are typically 3 stories high and 12-18 dwelling units per acre. Large site townhouse developments are on sites that are typically larger than one acre in size. These types are typically accessed through a network of connected private streets, alley, common courts and/or auto courts. This typology could include mix of uses, such as residential, office, commercial, etc.

Auto Courts

- Length: 150 feet max
- No through street access

Section 21.15.060.E.3

Unit entries shall be oriented toward primary street, unless street is 84 feet or wider.

Section 21.15.060.C.2

1 vehicle access point for every 200 feet of frontage

Section 21.15.060.D.1

Windows feature at least 2 of the following:

- Variation in type/size
- Moldings
- Wood frames
- Decorative trim
- Architectural brackets
- Shutters

Section 21.15.060.I.1

Windows must be recessed at least 2 inches OR provide a trim/windowsill at least 1 inch deep

Section 21.15.060.I.1

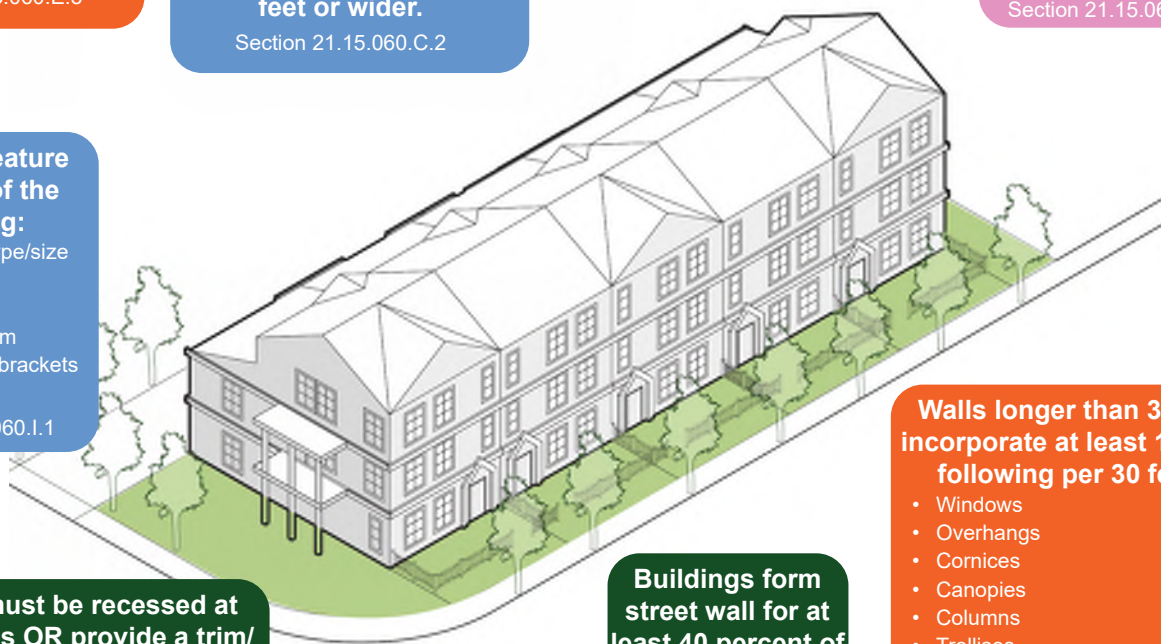
Buildings form street wall for at least 40 percent of lot frontage

Section 21.15.060.C.1

Walls longer than 30 feet incorporate at least 1 of the following per 30 feet:

- Windows
- Overhangs
- Cornices
- Canopies
- Columns
- Trellises
- Projections or recesses

Section 21.15.060.G.2



Anaheim, CA



Glendora Station

Podium

Podium structures are usually by 3 to 6-story buildings. They are characterized by wood-frame “Type V” construction built over a concrete base, or podium. Primary open space is usually a courtyard located on the top of the concrete podium on the second floor the building. Upper level apartment access is from shared entries or a lobby oriented to a public sidewalk. Any ground floor units are accessed directly from public streets. Podium apartments are typically 80-110 dwelling units per acre with garage podium and/or below grade garage. This typology could include mix of uses, such as residential, office, commercial, etc. When developed as a mixed-use project, the non-residential uses are located on the ground floor within the concrete structure.

Open space provided at 400 square feet per unit, may be common, private, or both

Section 21.B.060.F

Common Open Space

- Area: 225 sq feet min.
- Dimension: 15 feet min.

Section 21.15.060.F.1

Structures within 20 feet of adjacent residences employ clerestory windows, glass block, opaque glass, or landscaping

Section 21.15.060.I.2

Roofs 30 feet or longer provide at least 1 of the following:

- Change in roof height: 3 feet min
- Cross-gable/hipped roof lines
- Change in roof form/slope
- Use of dormers, cross gabled, and hipped roof lines.

Section 21.15.060.G.4

Buildings within 20 feet of another building orient windows (1 foot min. offset) to avoid direct line-of-site with other units

Section 21.15.060.B.3

Windows feature at least 2 of the following:

- Variation in type/size
- Moldings
- Wood frames
- Decorative trim
- Architectural brackets
- Shutters

Section 21.15.060.I.1

Primary entry provides at least 2 of the following:

- Facade projection/recess: 5 feet min
- Projection above entrance: 2 feet min
- Window detailing
- Decorative veneer or siding
- Porches or stoops
- Material and/or color variation

Section 21.15.060.I.1



Anaheim, CA



Glendora Park Place Apartments

Wrap

Wrap structures are characterized by wood-framed residential units “wrapping” around an above-grade concrete parking structure. Primary open space is usually ground-level courtyards and often a roof deck located above the parking structure. Upper level apartment access is from shared entries or a lobby oriented to a public sidewalk or a private courtyard. Ground floor units are accessed directly from public streets or the courtyard. They are typically 3 to 5 stories high and 50-100 dwelling units per acre. This typology could include mix of uses, such as residential, office, commercial, etc. When developed as a mixed-use project, the non-residential uses are typically located within the wood-frame structure on the ground floor facing public streets.

Windows must be recessed at least 2 inches OR provide a trim/windowsill at least 1 inch deep

Section 21.15.060.J.1

Buildings 2 stories or more feature at least 2 of the following:

- Change in material/texture/color
- Door/window variation
- Projections or recesses

Section 21.15.050.G.3

Windows must provide at least 2 of the following:

- Variation in type/size
- Moldings
- Wood frames
- Decorative trim
- Architectural brackets
- Shutters

Section 21.15.060.I.2

The same materials and finishes applied on all building sides

Section 21.15.060.J.4

1 vehicle access point for every 200 feet of frontage

Section 21.15.060.D.1

Walls longer than 30 feet incorporate at least 1 of the following per 30 feet:

- Windows
- Overhangs
- Cornices
- Canopies
- Columns
- Trellises
- Projections or recesses

Section 21.15.060.G.2

Open space provided at 400 square feet per unit, may be common, private, or both

Section 21.B.060.F



Avalon Glendora



Oxnard, CA

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**COMMERCIAL/
INDUSTRIAL**

In-Line/Main Street Retail

Main Street retail buildings are designed for occupancy by retail, service, and/or office uses on the ground floor, with upper floors configured for office and/or residential uses. Ground floor uses are accessed directly from the sidewalk through a shopfront. Upper floors are accessed from the street through a street-level lobby, an elevator, and corridors. Main Street building types are typically occupied by small businesses and stores catered for local consumers. Parking is typically accommodated in surface lots located behind the buildings or with on-street parking.

All building facades treated equally with materials and colors. Materials must be durable.

Section 21.15.080.H.1 & 4

Parapets are required around the perimeter of a flat roof.

Section 21.15.080.E.4

Buildings on streets less than 84 feet wide maintain "Street Wall" for at least 60 percent of lot frontage

Section 21.15.080.C.1

Buildings on a corner of a street 84 feet or wider provide at least 2 of the following:

- Distinct material application
- Height variation: 5 feet min
- Projection or recess: 5 feet min
- Diagonal/curved walls
- Entrance
- Corner plaza

Section 21.15.080.E.5

Facades facing a public street must provide at least 1 of the following:

- Windows;
- Overhangs;
- Cornices;
- Canopies;
- Columns;
- Trellises; and/or
- Clearly defined projecting or recessed architectural elements.

Section 21.15.080.E.1

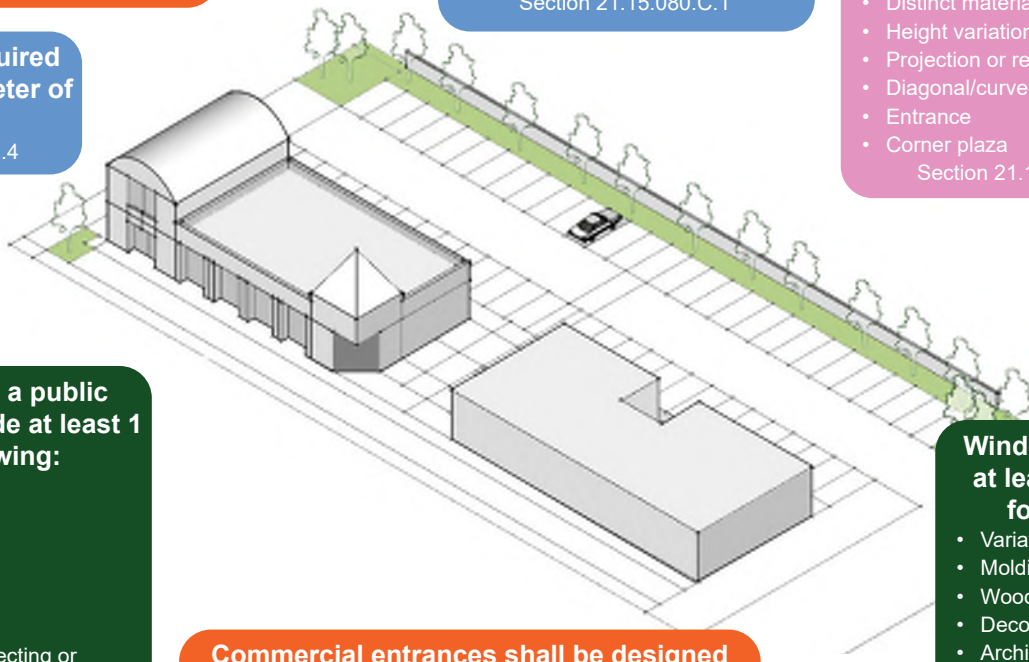
Commercial entrances shall be designed to promote pedestrian activity

Section 21.15.080.F.1

Windows feature at least 2 of the following:

- Variation in type/size
- Moldings
- Wood frames
- Decorative trim
- Architectural brackets
- Shutters

Section 21.15.080.G.2



Highland Park, IL



Calabasas, CA

Small Scale Strip Retail

These buildings are the basis for all auto-oriented, supermarket anchored neighborhood shopping centers. Surface parking lot is often located near the front of the lot where it is visible to motorists.

Walkways connect all units to public sidewalk and areas throughout site

- Width: 5 feet min
- Width, crossing: 6 feet min and with decorative paving
- Setback: 3 feet from buildings

Section 21.15.080.D 1, 2, 3, & 4

Windows must be recessed at least 3 inches OR provide a trim/windowsill at least 1 inch deep

Section 21.15.080.G.1

Parapets are required around the perimeter of a flat roof.

Section 21.15.080.E.4

Entrances provide at least 1 of the following:

- Recess: 3 feet min
- Awning or other element: 3 foot projection min.

Section 21.15.080.F.2

Projects shall be developed with at least one architectural style

Section 21.15.080.B

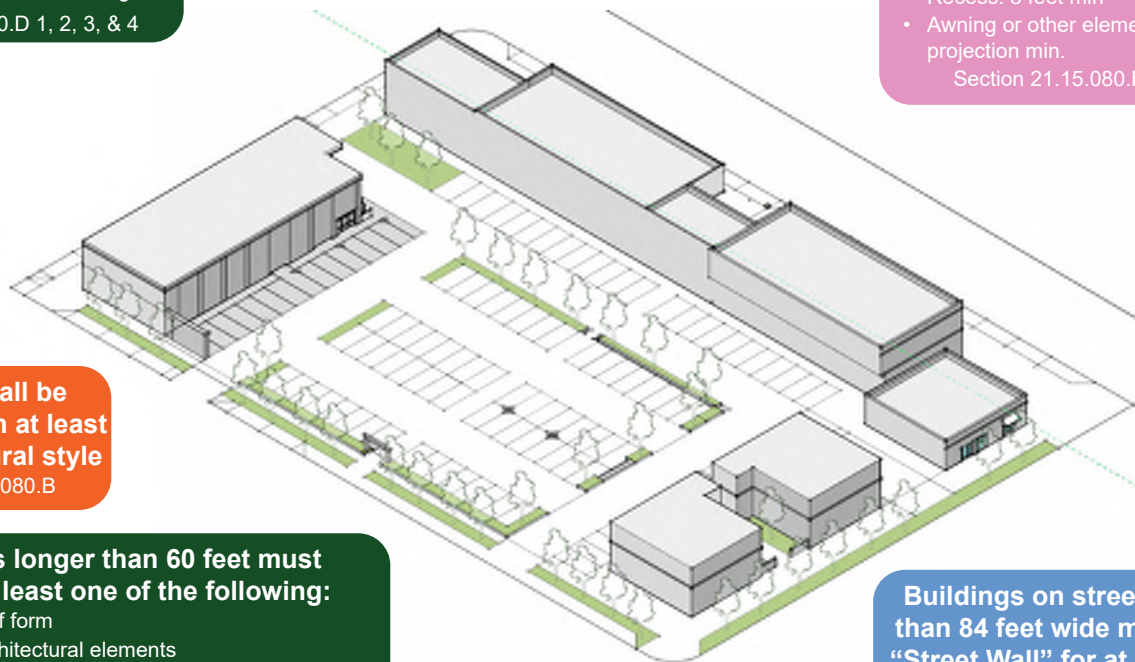
Roof lines longer than 60 feet must provide at least one of the following:

- Variation in roof form
- Variation in architectural elements
- Use of dormers, cross-gable or hipped roof lines
- Variation in roof height

Section 21.15.080.E.3

Buildings on streets less than 84 feet wide maintain "Street Wall" for at least 60 percent of lot frontage

Section 21.15.080.C.1



Upland, CA



Crystal Cove, CA

Big-Box Center

Big box retail centers occupy a large physical footprint and are designed to be a one-stop-shop for customers. These buildings typically have minimal façade articulation and are designed at a larger scale compared to Main Street retail or small scale strip retail. They typically range in size from 50,000 to 250,000 SF. Parking is accommodated in surface lots typically located in front of the lot visible from the street.

All buildings 2 stories or taller provide at least 2 of the following:

- Change in materials/textures/colors
- Changes in window/door sizes
- Horizontal projections or recesses

Section 21.15.080.E.2

Parapets are required around the perimeter of a flat roof.

Section 21.15.080.E.4

Projects over 5 acres utilize at least 2 architectural styles

Section 21.15.080.B

Windows feature at least 2 of the following:

- Variation in type/size
- Moldings
- Wood frames
- Decorative trim
- Architectural brackets
- Shutters

Section 21.15.080.G.2

Facades facing a public street must provide at least 1 of the following:

- Windows;
- Overhangs;
- Cornices;
- Canopies;
- Columns;
- Trellises; and/or
- Clearly defined projecting or recessed architectural elements.

Section 21.15.080.E.1

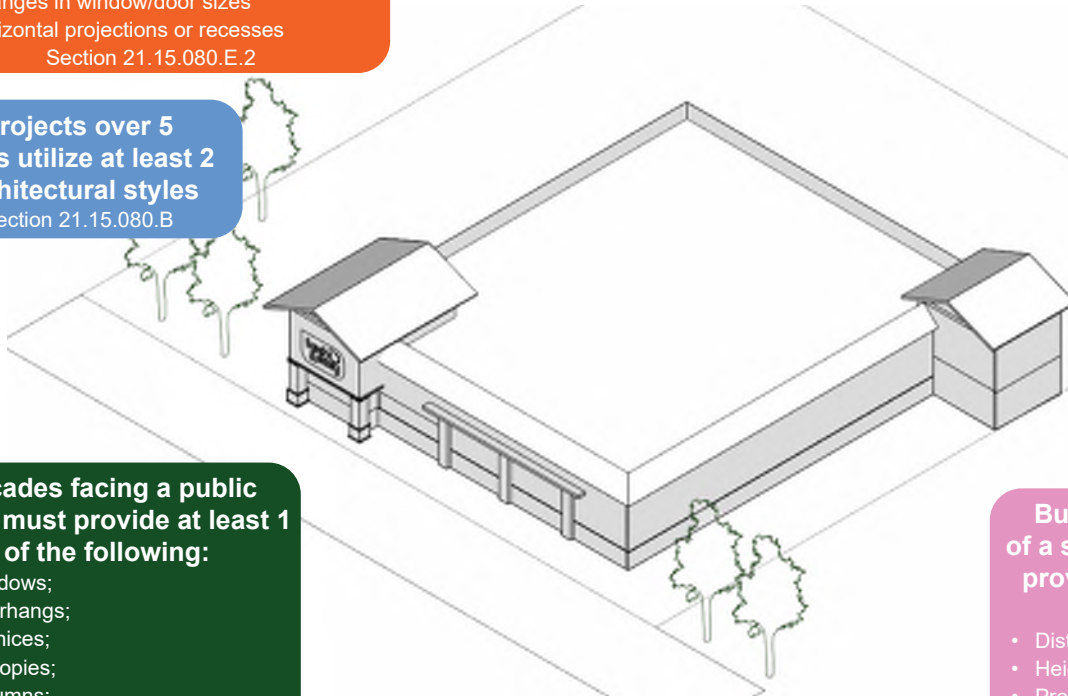
Projects with more than 3 buildings feature at least 2 color schemes

Section 21.15.080.H.5

Buildings on a corner of a street 84 feet or wider provide at least 2 of the following:

- Distinct material application
- Height variation: 5 feet min
- Projection or recess: 5 feet min
- Diagonal/curved walls
- Entrance
- Corner plaza

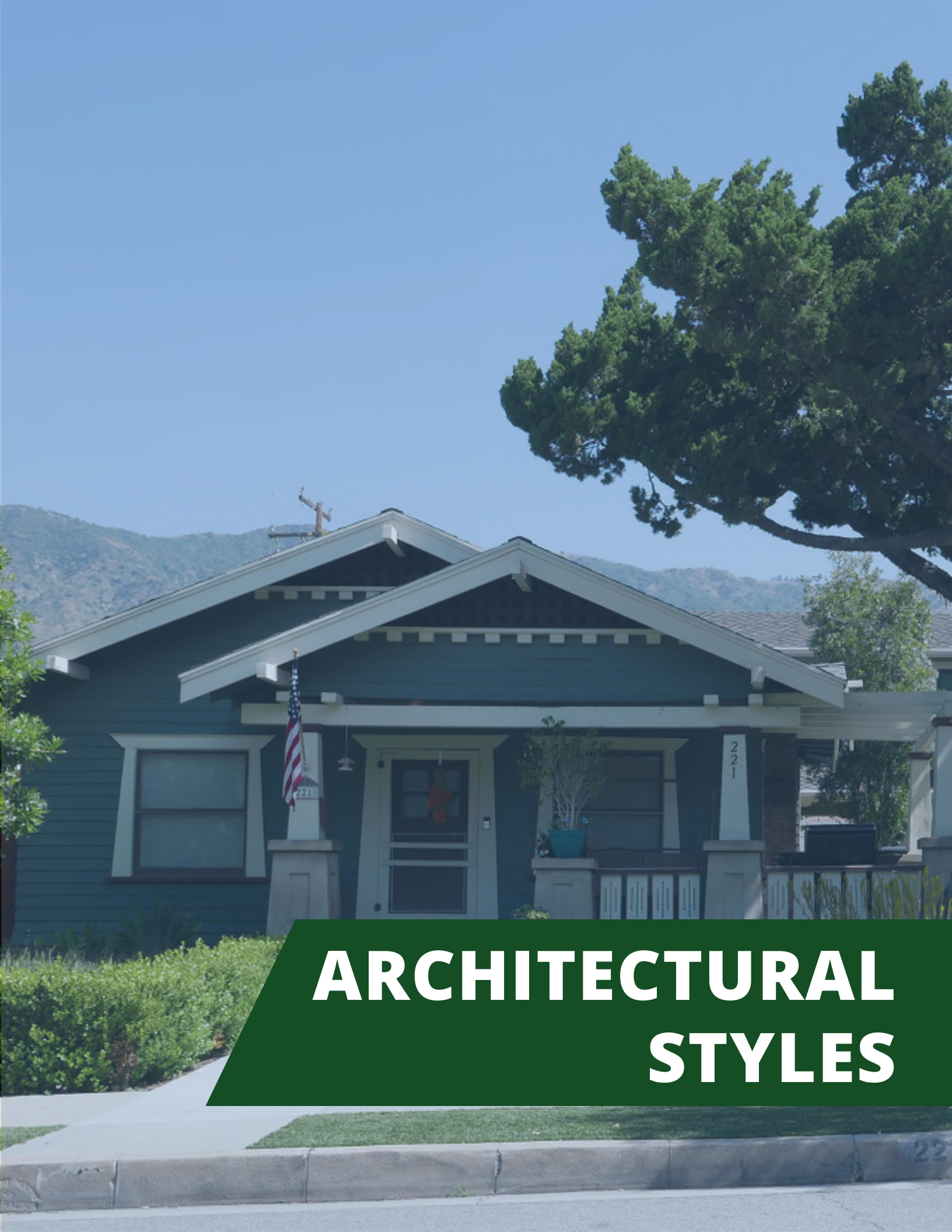
Section 21.15.080.E.5



Foothill Boulevard - Glendora



Santa Clarita, CA



ARCHITECTURAL STYLES

Architectural Styles

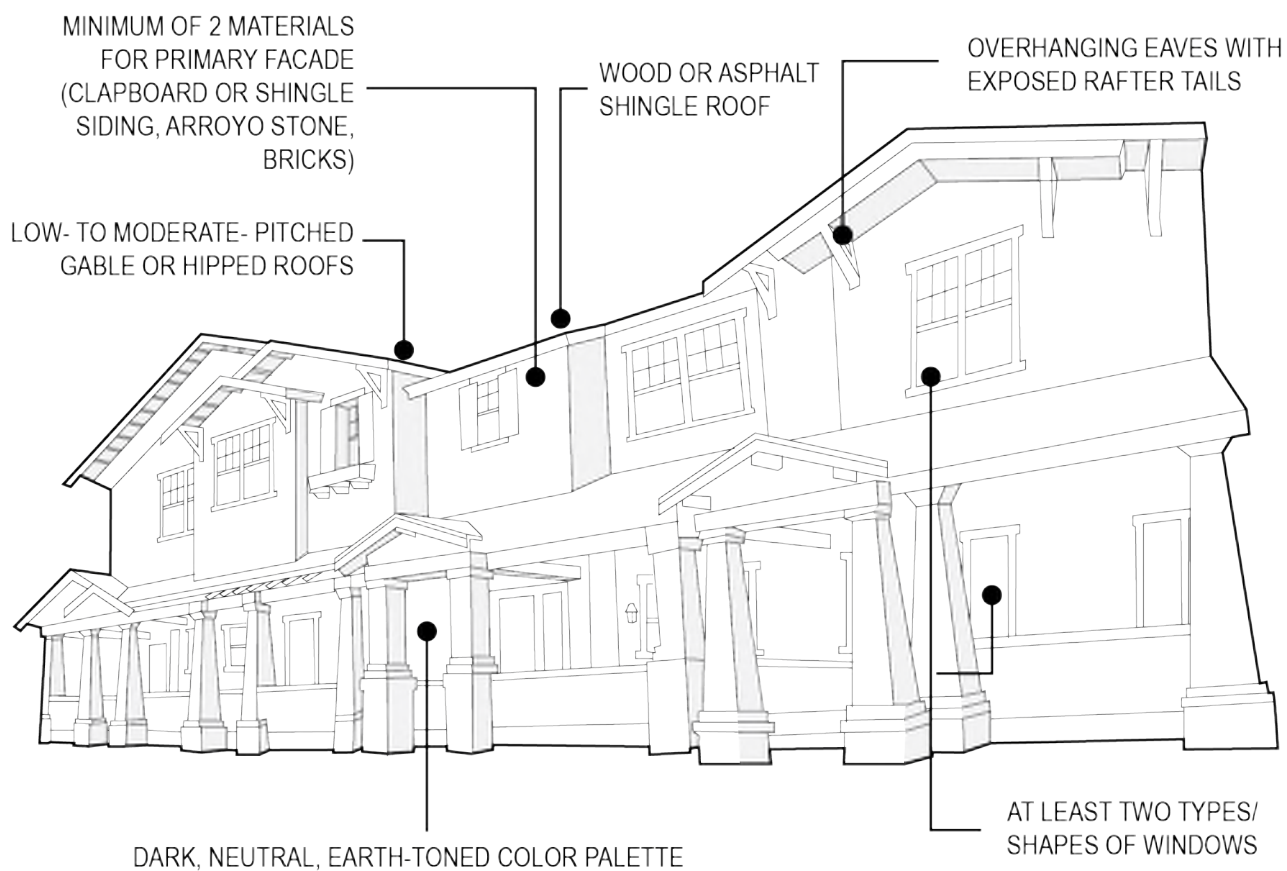
The following architectural styles have been deemed appropriate for new development in Glendora, reflecting historic architectural styles currently present in the City, while allowing for modern and contemporary variations. Each style provides a menu required and optional features. Alternative architectural styles may be proposed but require additional design review as part of the DPR process as described in Section 21.15.020 and Section 21.02.040 of the Glendora Municipal Code.

Style	Building Type						
	Single-Family	Accessory	Small-MF	Large-MF	Small-MU ⁵	Large-MU	Commercial
Craftsman ¹	x	x	x	x	x	x	x
Googie ²					x		x
Main Street					x	x	x
Mid Century Modern	x	x	x		x		x
Postmodern ³					x		x
Ranch ⁴	x	x	x				
Spanish	x	x	x	x	x	x	x

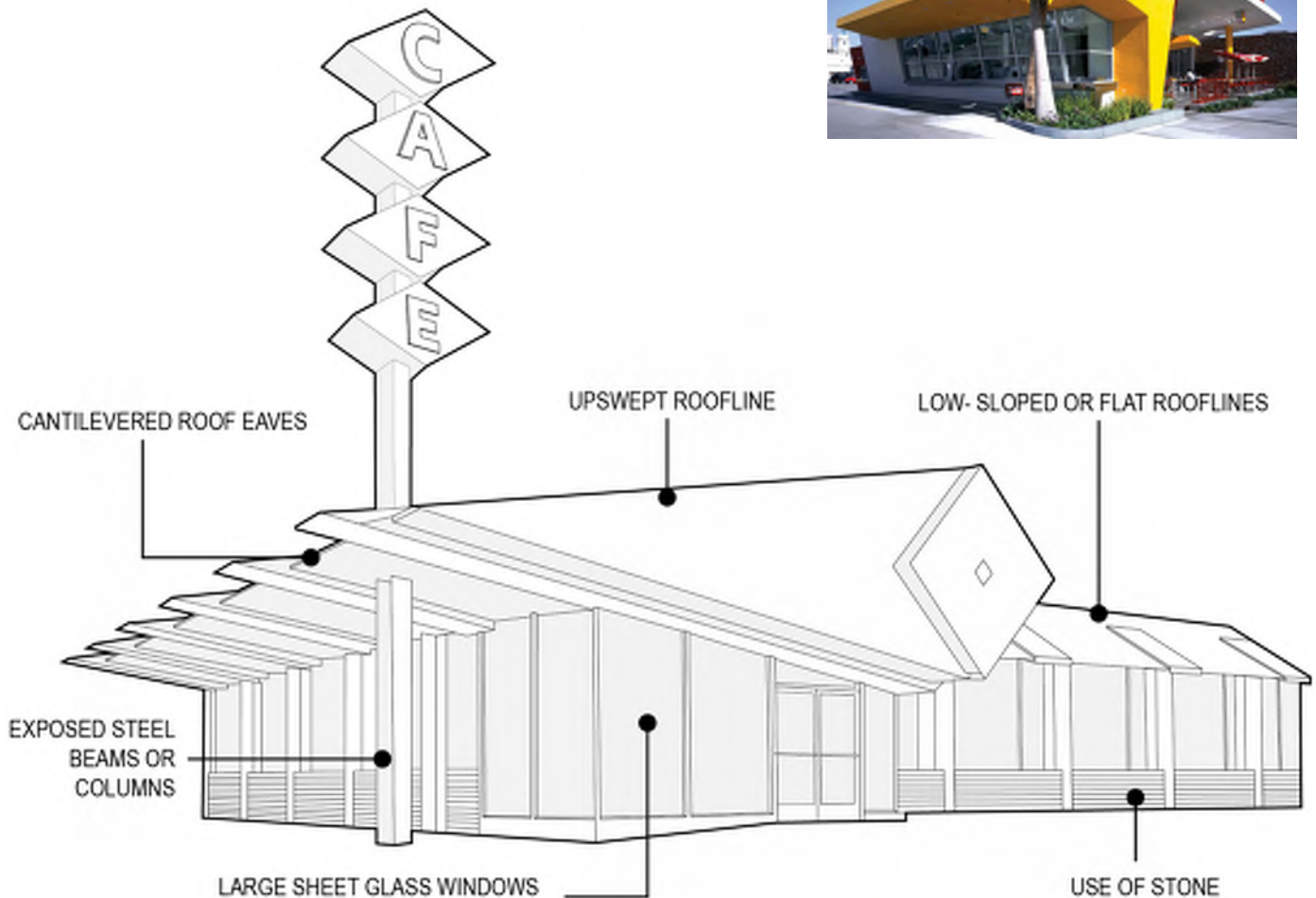
Notes:

1. Craftsman height limit is three (3) stories, with a smaller 4th story per Section 21.15.090.B0
2. Googie only permitted along specific corridors (Route 66 and Arrow Highway)
3. Postmodern refers to contemporary commercial/industrial development
4. Ranch style architecture height limit is two (2) stories.
5. Small MU means 10 or fewer residential units and total commercial square footage under 25,000 sq feet e.g. a development with 15 residential units and 5,000 sq ft of commercial would be large MU.

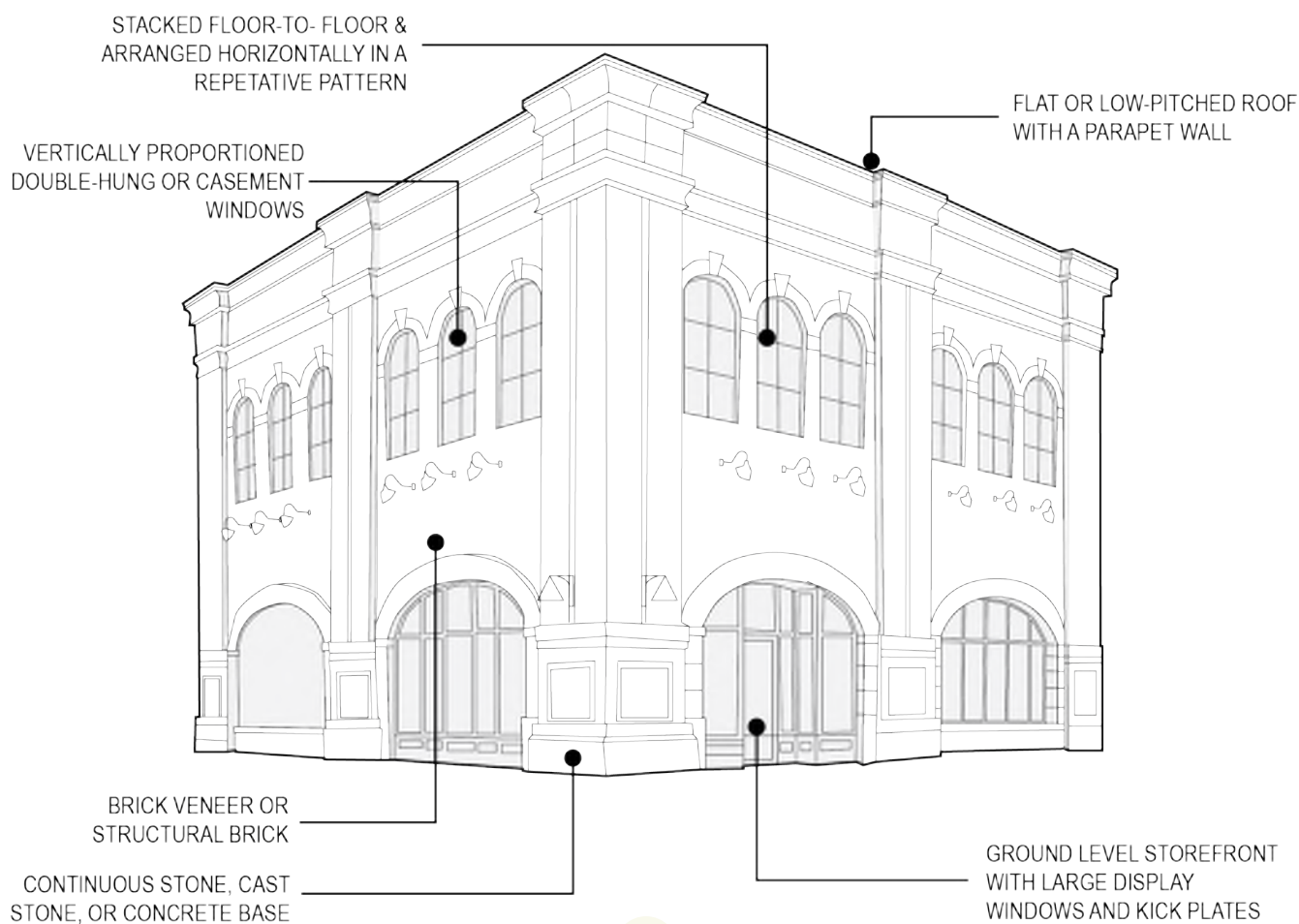
Craftsman. Craftsman style is identified by low-pitched, gabled roofs; wide overhanging eaves; exposed rafter tails; decorative brackets and corbels; front porches; and round, tapered or square porch columns. Sash windows and wood detailing of all kinds are important features.



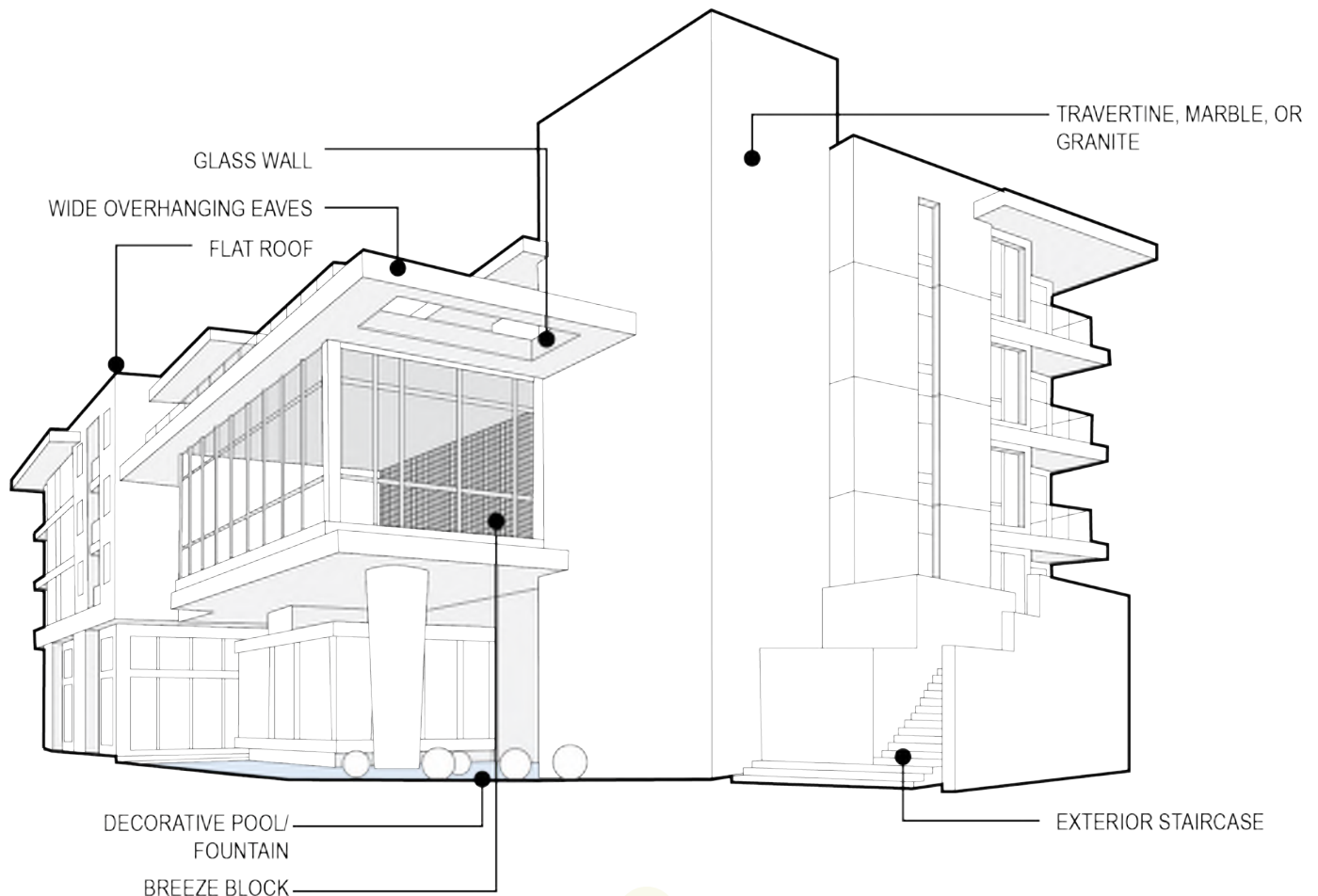
Googie. Googie style can be often seen on the historic Route 66 and is characterized by bold geometric shapes with sharp angles and sweeping curves, boomerang shapes for pillars, roofs, and signage, starburst images on signs and building facades, cantilevered rooflines, and a mixture of materials, including glass, steel, and concrete.



Main Street. The Main Street architectural style is characterized by symmetrical, masonry buildings usually capped with a cornice and parapet and grounded with a continuous base. Elements such as galleries and awnings provide a secondary rhythm for the façade and allow the buildings to engage the public realm. The style is well suited for commercial and office uses as well as mixed use buildings.



Mid-Century Modern. Mid-century Modern is a term used to describe the post-World War II iteration of the International Style in both residential and commercial design. The International Style was characterized by geometric forms, smooth wall surfaces, and an absence of exterior decoration. Mid-century Modern represents the adaptation of these elements to the local climate and topography, as well as to the postwar need for efficiently-built, moderately-priced homes. In Southern California, this often meant the use of wood post-and-beam construction. Mid-century Modernism is often characterized by a clear expression of structure and materials, large expanses of glass, and open interior plans.



Post Modern. Post Modern is a term that refers generally to an architecture style that imitates elements of traditional styles, while incorporating these with new forms and materials. The result is both familiar and original. It is common to reference several different historical styles within one design, creating an interesting juxtaposition of period and regional elements. While paying homage to the past, many buildings within this stylistic movement feature playful designs and ironic combinations. The elements selected could additionally be exaggerated, manipulated, and even distorted. With a Postmodern style, the result can be a building that suits the desire for historic reference, fresh design, or contradictory interpretations.



PEDIMENT FORM ON
FACADE

USE OF GEOMETRIC SHAPES
TO DEFINE TALLEST
BUILDING ELEMENTS

SYMMETRICAL FACADES

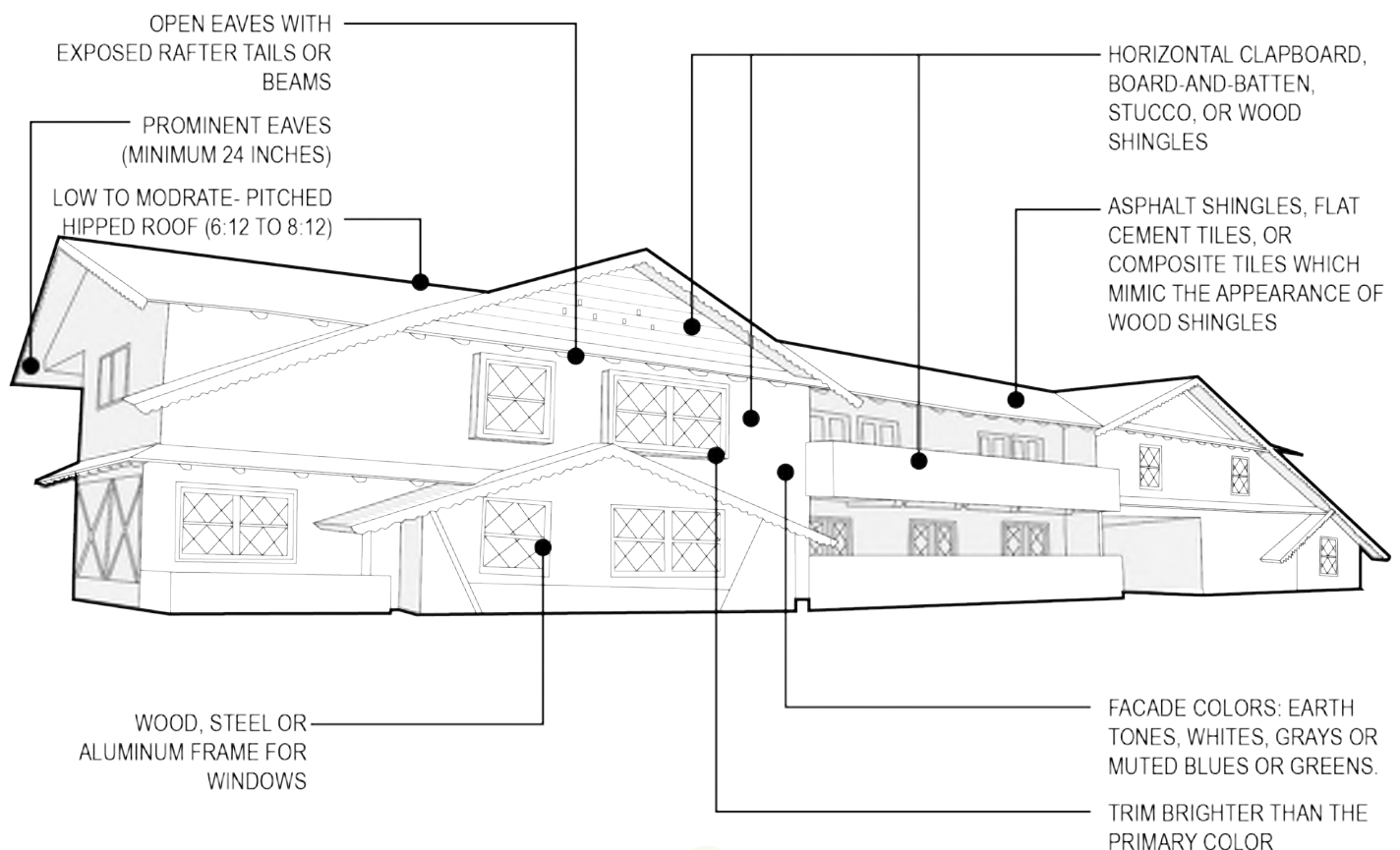
SQUARE WINDOWS IN A GRID
PATTERN

ROOF WITH BANDING
AND STRIPES

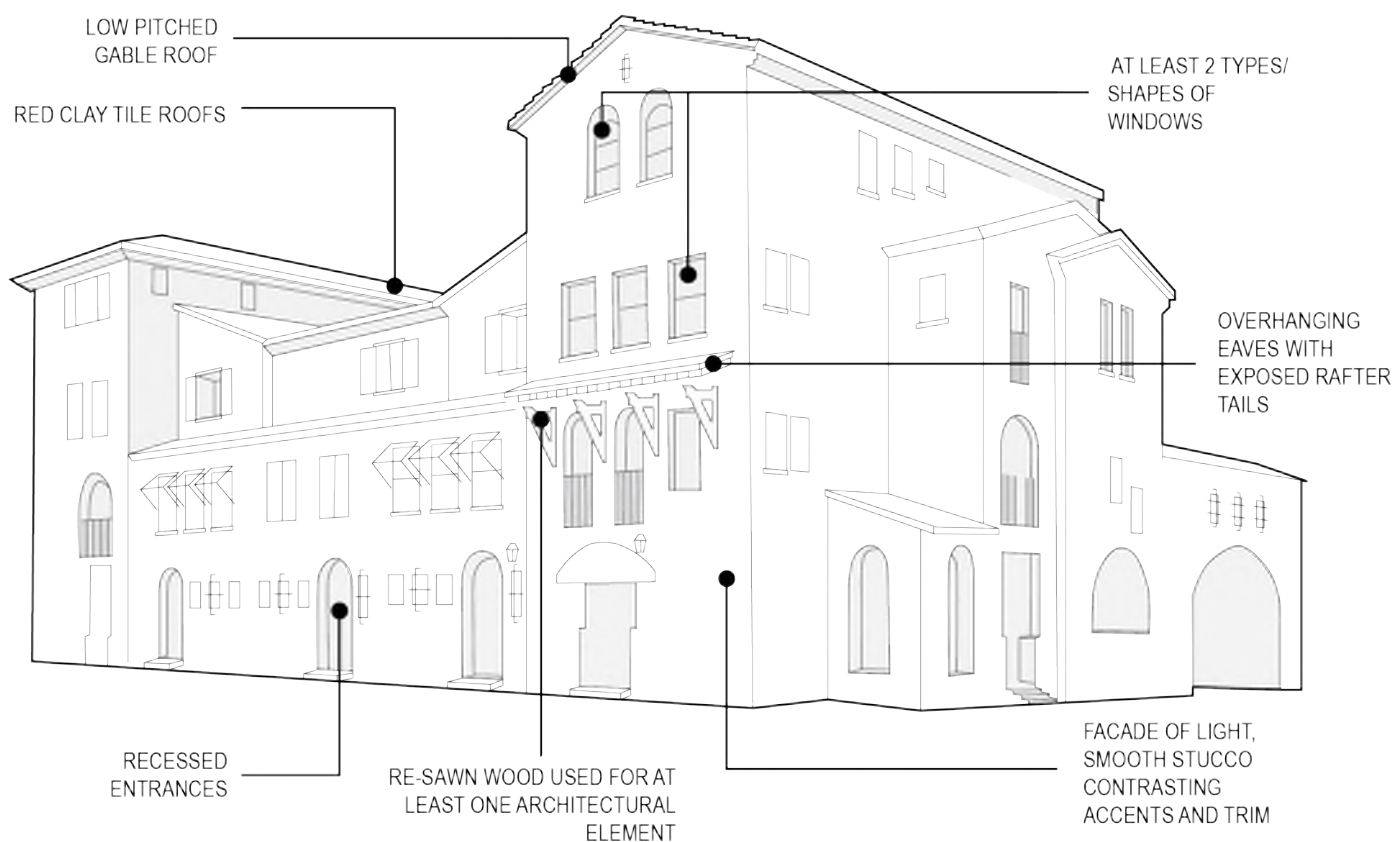
HORIZONTAL
BANDING OF
DIFFERENT
MATERIALS

3 DIFFERENT PASTEL COLORS

Ranch. Ranch style is distinguished by its rusticated appearance and incorporation of elements reminiscent of the vernacular, nineteenth century buildings of California and the American West. Buildings designed in this architectural style include several identifying characteristics such as rambling, elongated plans; a horizontal emphasis; general asymmetry; free-flowing interior spaces; and a designed connection to the outdoors. Features such as low-pitched roofs with wide eaves, a combination of cladding materials including board-and-batten siding, brick and stone chimneys, and large picture windows were commonly applied and evoked an aesthetic that was reminiscent of these past architectural traditions. Ranch style shall be limited to buildings two (2) stories or less.



Spanish Revival. The Spanish Revival style is characterized by buildings composed of picturesque combinations of simple rectilinear forms of varying heights. The buildings are capped with gabled or hipped roofs of red clay barrel tiles with little or no eave overhang. Courtyards and well-detailed structural elements, such as pergolas, trellises or loggias and arcades provide another layer to the massing. This style is identified by wood or metal balconies, towers, chimneys and other tile or wrought iron details add accents. Asymmetrical façades are common with arches over windows and doorways.





CHECKLISTS

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